

CLIENT:
PAUL AND JOANNE
GRIFFIN

PROJECT: PROPOSED NEW RESIDENCE

25 MARINE Dr
Wallabi Point 2430

LOT 11 DP 22781

DRAWING TITLE:

SITE PLAN

SCALE:

As indicated

- FRONT DECK	43 m ²
- FRONT PAD	16 m ²
- GARAGE	45 m ²
- Gr.LIVING	68 m ²
- Gr.PATIO	38 m ²
- PORCH	4 m ²
- Up.LIV	108 m ²
	322 m ²

JOB NUMBER: SHEET SIZE:

DRAWN: A3

DATE: 9/04/2025 10:19:16 AM PAGES: 01

REV: DETAILS: DATE:

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I/WE HAVE CHECKED THE PLANS AND AGREE THAT THEY
ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION.
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VARIATION ITEM/S AND ANY FURTHER PLANS TO BE
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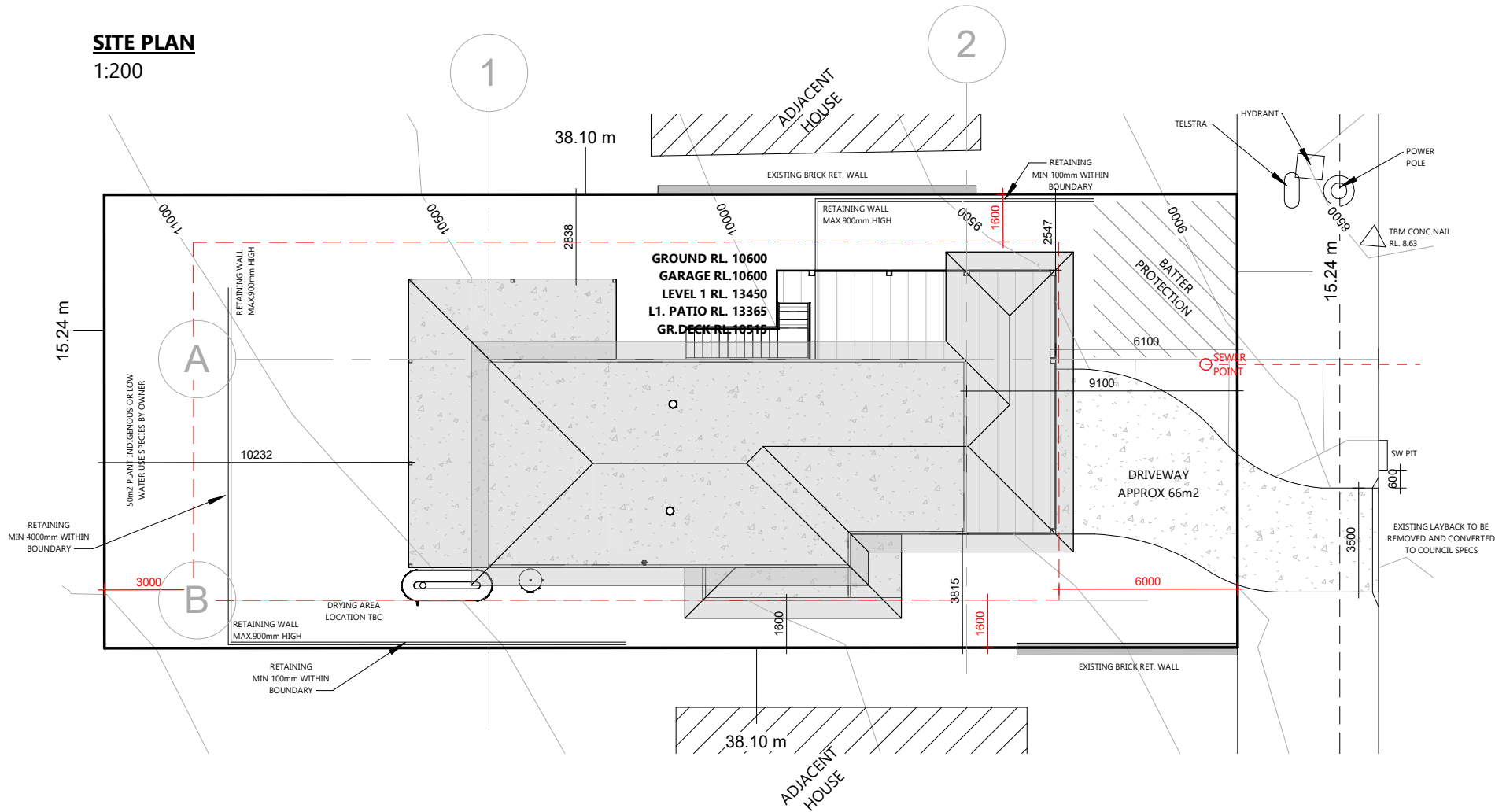
OWNER SIGNED: DATE:

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SITE PLAN

1:200



LOT 11
DP 22781
25 MARINE DR
WALLABI POINT 2430
580m²

TOTAL SITE	580 m ²
SITE COVERAGE	197 m ²
PERCENTAGE	33.96 %
GROSS FLOOR AREA	213 m ²
PERCENTAGE	36.72 %

BASIX COMMNTMENTS

PLUMBING FIXTURES

SHOWER HEADS 4 STAR
TOILET SYSTEM 5 STAR
KITCHEN TAPS 5 STAR
BATHROOM TAPS 5 STAR

RAINWATER

3000 LITRE TANK COLLECTING 100m² OF ROOF
CONNECTED TO AT LEAST ONE OUTDOOR TAP

THERMAL COMFORT

FLOOR - CONCRETE SLAB ON GROUND, WAFFLE POD SLAB.
FLOOR - SUSPENDED FLOOR ABOVE ENCLOSED SUBFLOOR, HARD WOOD; FRAME: TIMBER - H2 TREATED SOFTWOOD.
GARAGE FLOOR - CONCRETE SLAB ON GROUND, WAFFLE POD SLAB.
EXTERNAL WALL:
FRAMED (SOLID OR RECONSTITUTED TIMBER WEATHERBOARD); FRAME: TIMBER - H2 TREATED SOFTWOOD.
INTERNAL WALL SHARED WITH GARAGE:
PLASTERBOARD; FRAME: TIMBER - H2 TREATED SOFTWOOD.
INTERNAL WALL: PLASTERBOARD; FRAME: TIMBER - H2 TREATED SOFTWOOD.
CEILING AND ROOF - FLAT CEILING / PITCHED ROOF, FRAMED - METAL ROOF, TIMBER - H2 TREATED SOFTWOOD.

HEATING AND COOLING

COOLING - AT LEAST 1 LIVING AREA - 5 STAR
HEATING - NONE
ONE CEILING FAN IN AT LEAST ONE DAYTIME HABITABLE SPACE, SUCH AS LIVING ROOM.
ONE CEILING FAN IN EACH BEDROOM.

HOT WATER SYSTEM

ELECTRIC HEAT PUMP WITH A PERFORMANCE OF 36 TO 40 STCS OR BETTER.

VENTILATION

AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY

NATURAL LIGHTING

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING.
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 2 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

ARTIFICIAL LIGHTING

THE APPLICANT MUST ENSURE THAT A MINIMUM OF 80% OF LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTINGDIODE (LED) LAMPS.

OTHER

INDUCTION COOKTOP AND ELEC OVEN
THE FRIDGE SPACE IS TO BE WELL VENTILATED
A FIXED OUTDOOR CLOTHES LINE MUST BE INSTALLED

LANDSCAPING

MUST PLANT INDIGENOUS OR LOW WATER USE SPECIES - 50m²

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GROUND FLOOR

SCALE:

1 : 100

- FRONT DECK	43 m ²
- FRONT PAD	16 m ²
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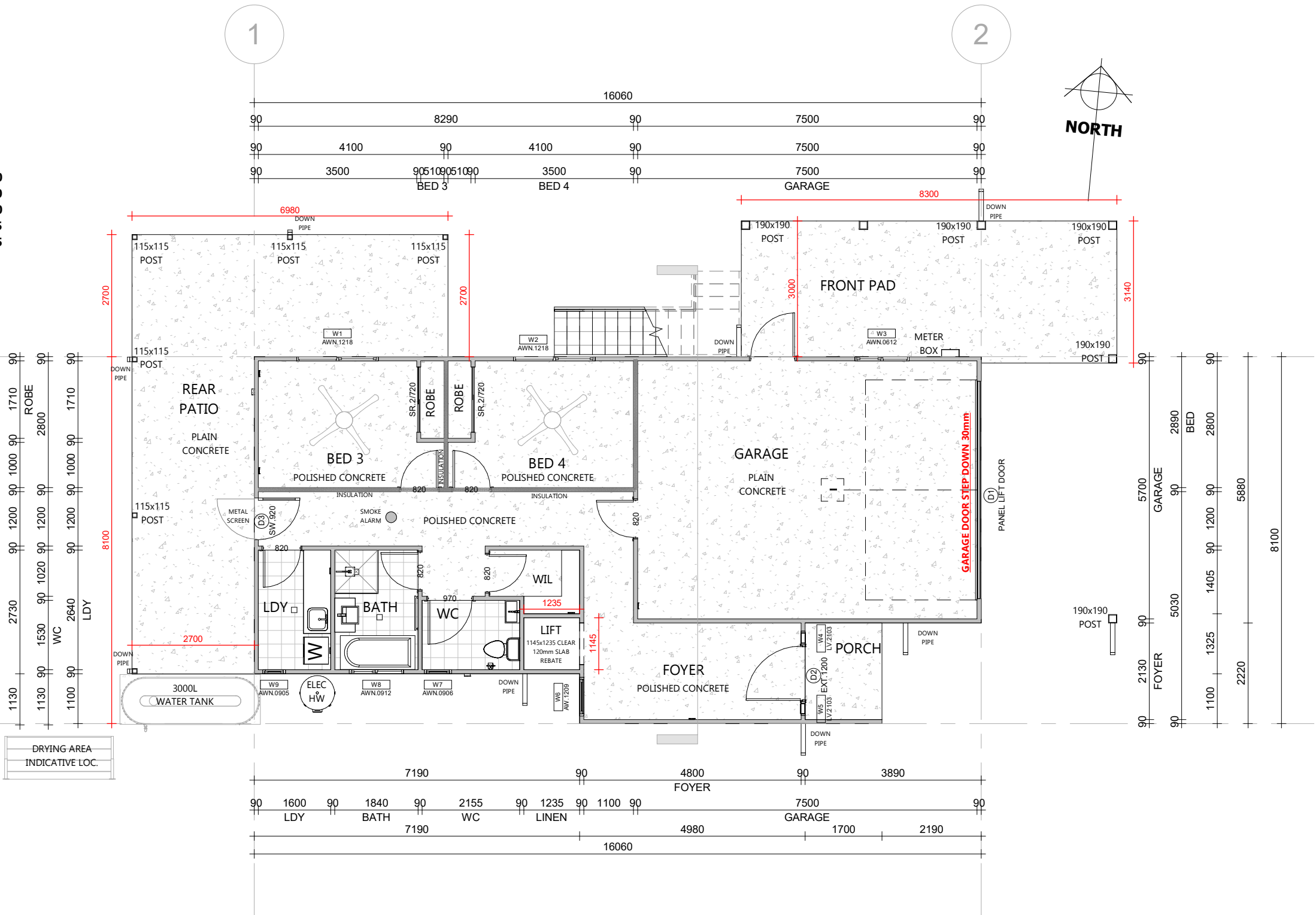
GROUND RL. 10600
GARAGE RL. 10600
LEVEL 1 RL. 13450
L1. PATIO RL. 13365
GR.DECK RL. 10515

A

B

1

2



GENERAL NOTES

BUILDING WORK CONSTRUCTED IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE
WEATHER SEALS TO EXTERNAL DOORS
HARD WIRED SMOKE ALARM WITH 9V BATTERY BACKUP
SMOKE DETECTORS TO BE INTERCONNECTED AS PER NCC GLAZING ASSEMBLIES IN ACCORDANCE WITH AS1288- 2006 & AS2047 -2014
GUTTERS & DOWNPIPES IN ACCORDANCE WITH NCC VOL2 PART 3.5.2 & OVERFLOWS TO TABLE 3.5.2.4

DIMENSIONS

FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. VERIFY DIMENSIONS & LEVELS BEFORE COMMENCEMENT. ANY DISCREPANCY TO BE REPORTED TO THE DESIGNER IMMEDIATELY.

TERMITE PROTECTION

IN ACCORDANCE WITH AS3660.1 2014
PERIMETER: VISUAL BARRER EDGE EXPOSURE 75 MM FROM DAMPROOF COURSE TO TOP OF PAVING

WET AREA NOTES:

WET AREAS ARE TO BE WATERPROOFED IN ACCORDANCE WITH NCC, VOL. 2, PART H4D2 AND PART 10.2 OF THE ABCB HOUSING PROVISIONS IN FULL. OR; NCC, VOL. 2, PARTS 10.2.1 - 10.2.6 OF THE ABCB HOUSING PROVISIONS AND AS3740 - 2021: WATERPROOFING OF DOMESTIC WET AREAS.
WHERE A FLOOR WASTE IS INSTALLED, IT MUST BE PROVIDED WITH A MIN. CONTINUOUS FALL OF 1:80 AND MAX. CONTINUOUS FALL OF 1:50 AS PER PART 10.2.12 OF THE ABCB HOUSING PROVISIONS. INSTALLATION OF MATERIALS TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURERS DETAILS AND SPECIFICATIONS.

INSULATION AND SARKING

CEILING THERMAL/SOUND INSULATION LAID OVER CEILING LINING (R VALUE AS PER BASIX)
INTERNAL WALLS BRADFORD SOUNDSREEN PLS (OR EQUAL APPROVED) FOR WALLS (R VALUE AS PER BASIX)
EXTERNAL WALLS ACOUSTIC BATT IN W/FRAE CAVITY (OR EQUAL APPROVED) (R VALUE AS PER BASIX)

SMOKE ALARMS/DETECTORS:

SMOKE ALARMS TO AS3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS AND DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER THE STANDARDS NOTED ABOVE AND ANY MANUFACTURERS DETAILS AND SPECIFICATIONS.

MECHANICAL VENTILATION

TO COMPLY WITH NCC 2022. CAVITY MUST BE VENTILATED TO OUTDOOR AIR.

INTERNAL SANITARY COMPARTMENT NOTES:

ALL INTERNAL SANITARY COMPARTMENTS ARE TO HAVE AN EXHAUST SYSTEM COMPLYING WITH NCC, VOL. 2, PART H4D7, H4D9 AND PARTS 10.6.2 AND 10.8.2 OF THE ABCB HOUSING PROVISIONS.
DOORS ARE TO BE UNDERCUT 20mm (FREE OPEN AREA OF 14,000mm²) AND EXHAUST TO BE INTERLOCKED TO ROOMS LIGHT SWITCH AND INCLUDE A RUN-ON TIMER AS PER NCC DEEMED-TO-SATISFY PROVISIONS

WINDOW NOTES:

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.7 OF THE ABCB HOUSING PROVISIONS
WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.8 OF THE ABCB HOUSING PROVISIONS.
A BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW COVERED BY PART 11.3.8 (1) AND BARRIER MUST ALSO COMPLY WITH PART 11.3.8 (3)
GLAZING SPECIFICATIONS:
WINDOWS AND DOORS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AND DOORS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE
GLAZING: PLEASE REFER TO NATHERS CERTIFICATE FOR EXACT DETAILS
WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.
PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH THE NCC, VOL. 2, H1D8 AND PART 8.4.6 OF ABCB HOUSING PROVISIONS

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STAIRS, RAMPS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH NCC VOL. 2, H5D2 AND PART 11.2.2 OF THE ABCB HOUSING PROVISIONS. RAMPS TO COMPLY WITH PART 11.2.3. SLIP RESISTANCE TO STAIRS AND RAMPS AS PER PART 11.2.4 OF THE ABCB HOUSING PROVISIONS AND IN ACCORDANCE WITH AS4586.
BARRIERS AND HANDRAILS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH NCC, VOL. 2, H5D3 AND PARTS 11.3.3, 11.3.4, 11.3.5 AND 11.3.6 OF THE ABCB HOUSING PROVISIONS.

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PAGES: **03**

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LOT 11 DP 22781

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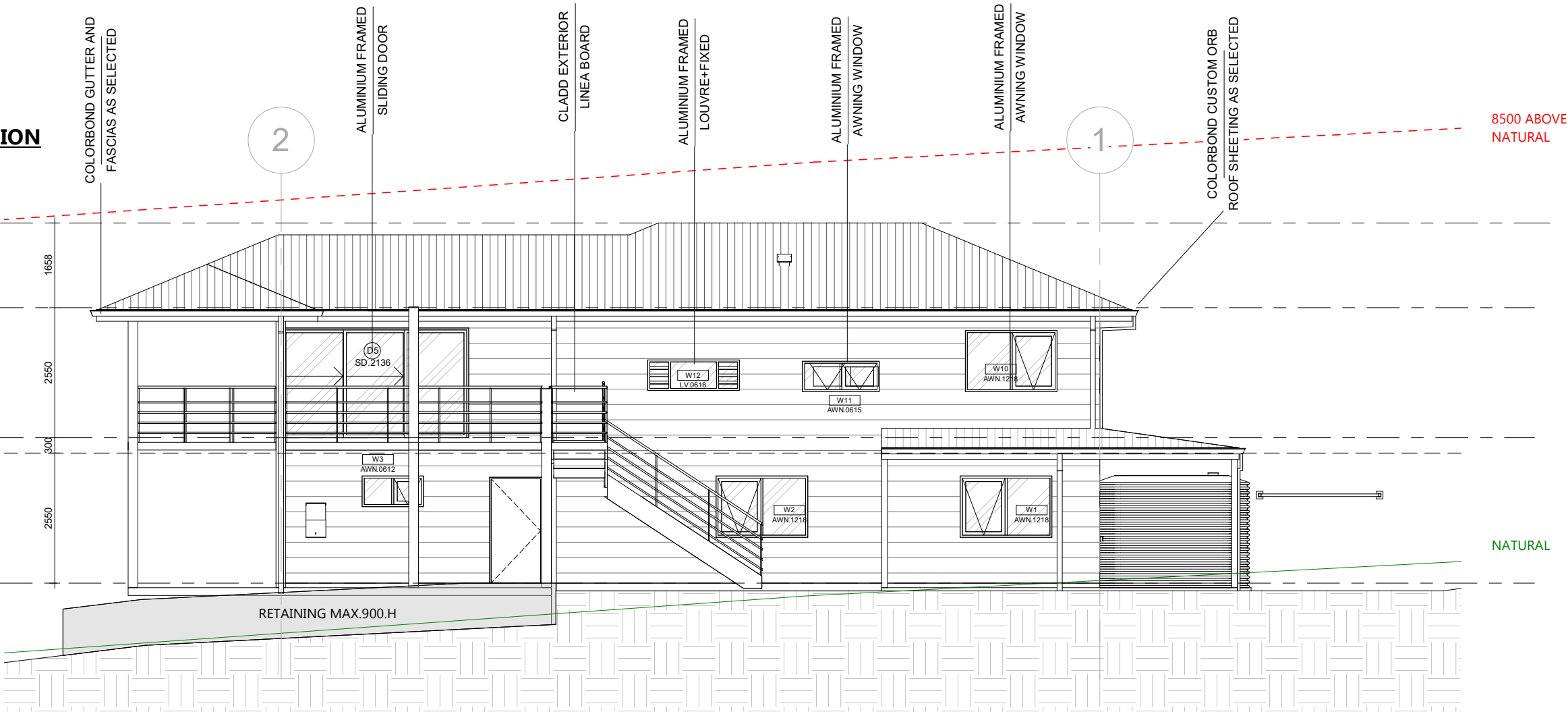
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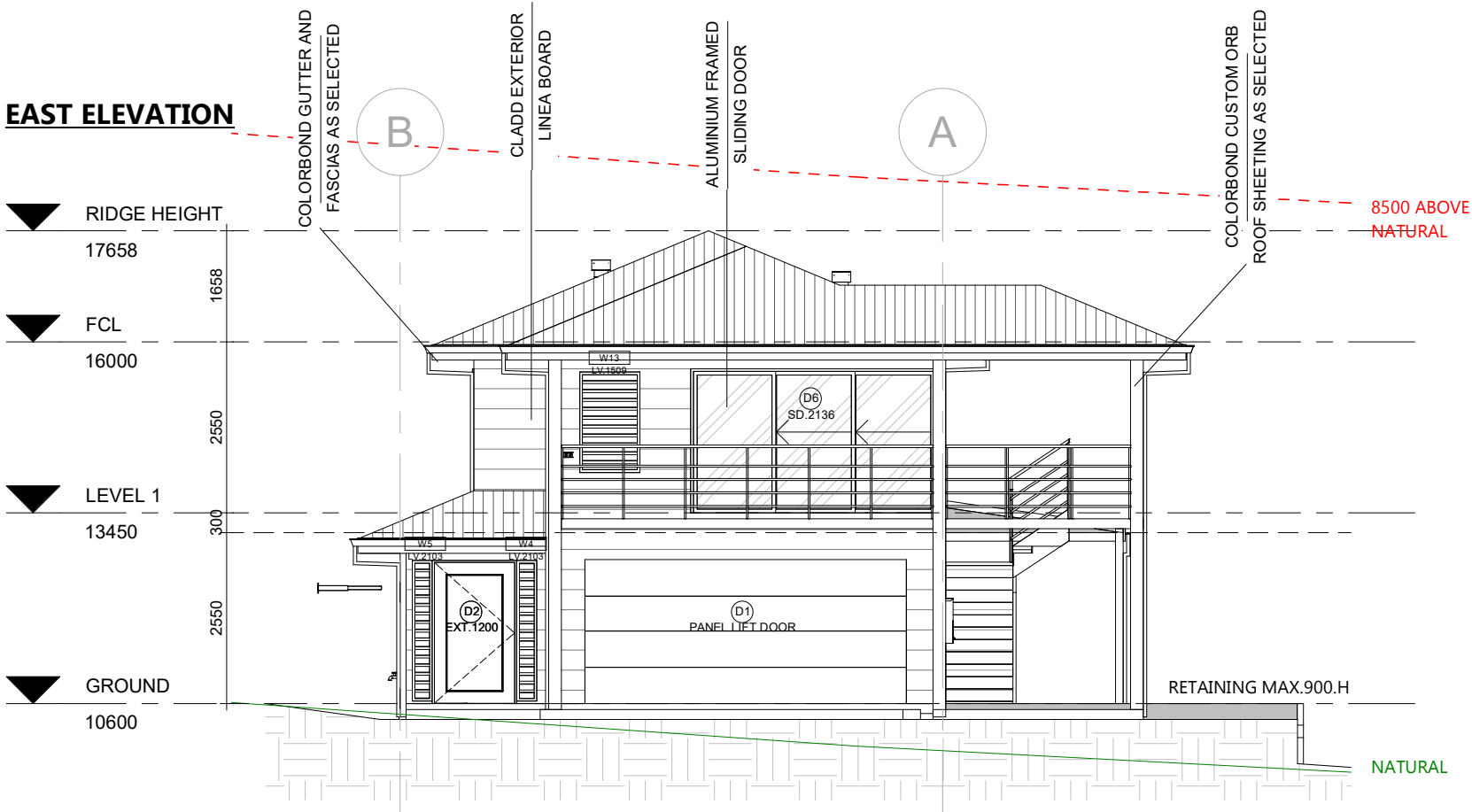
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NORTH ELEVATION



EAST ELEVATION



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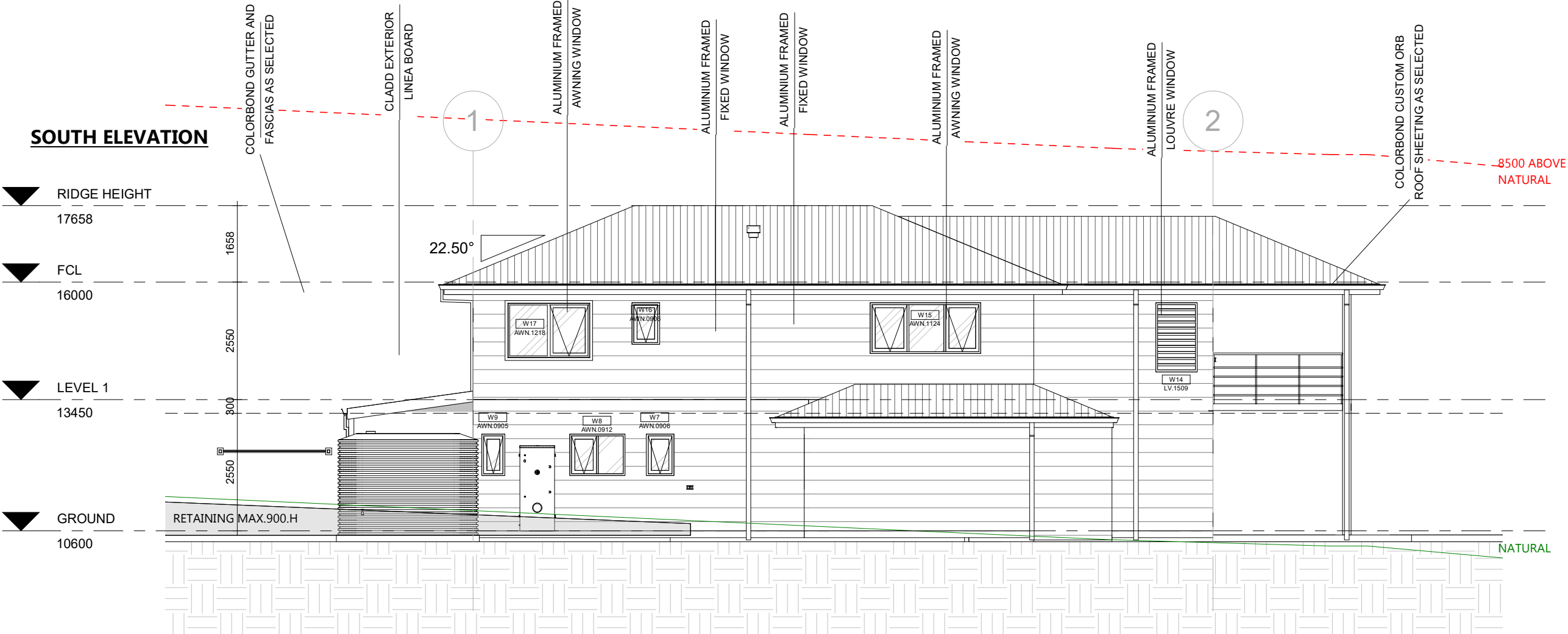
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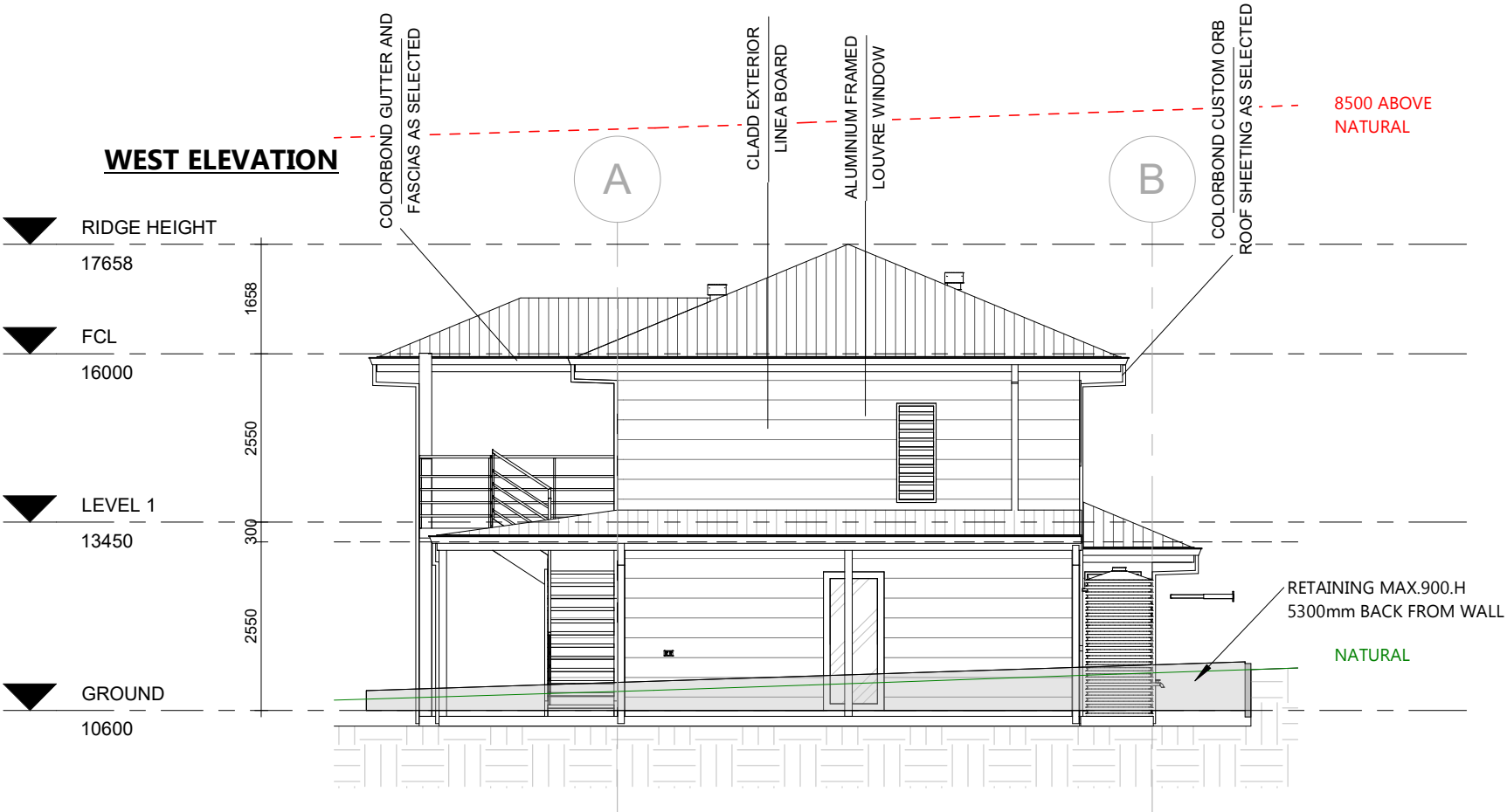
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SOUTH ELEVATION

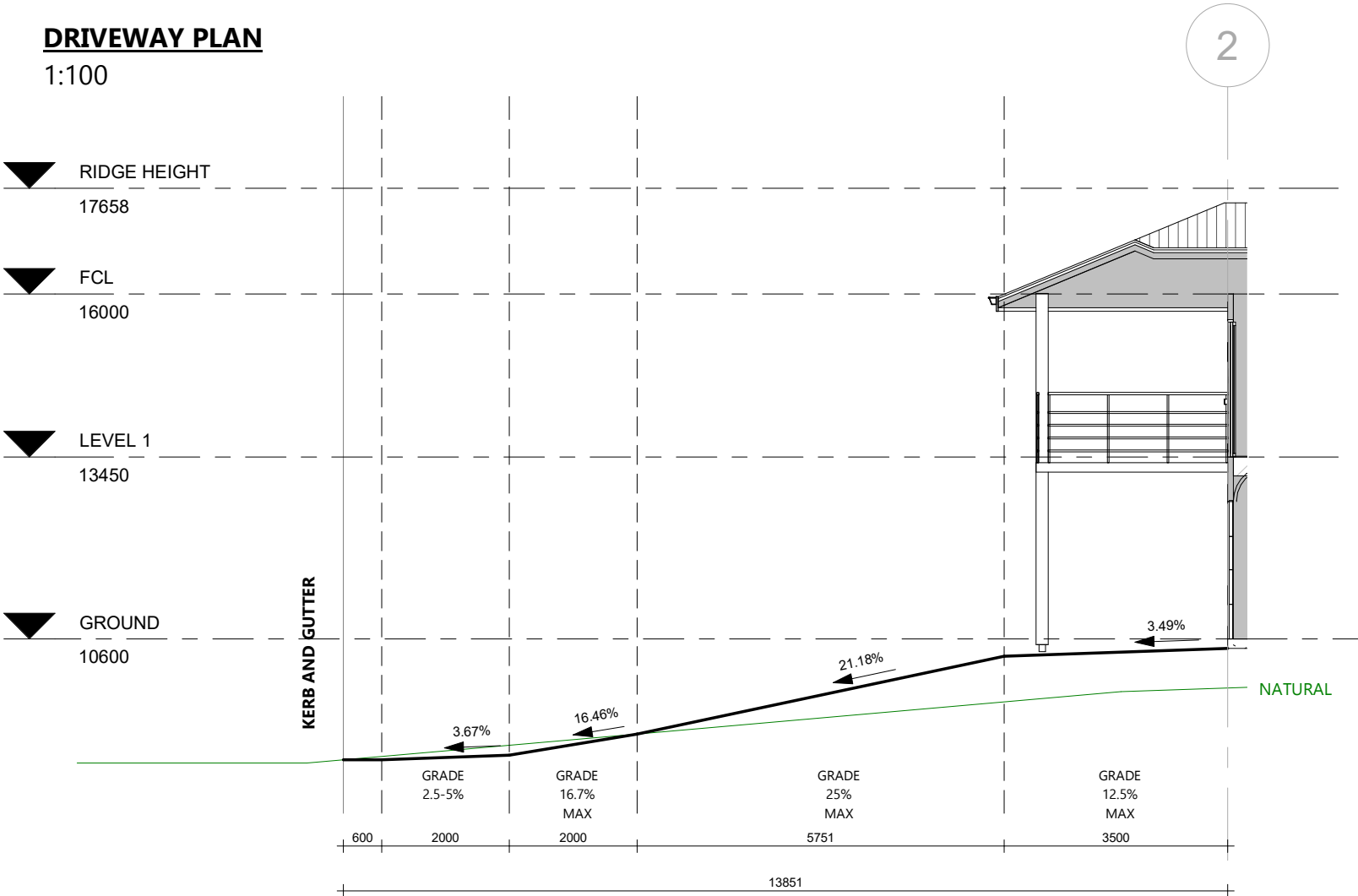


WEST ELEVATION

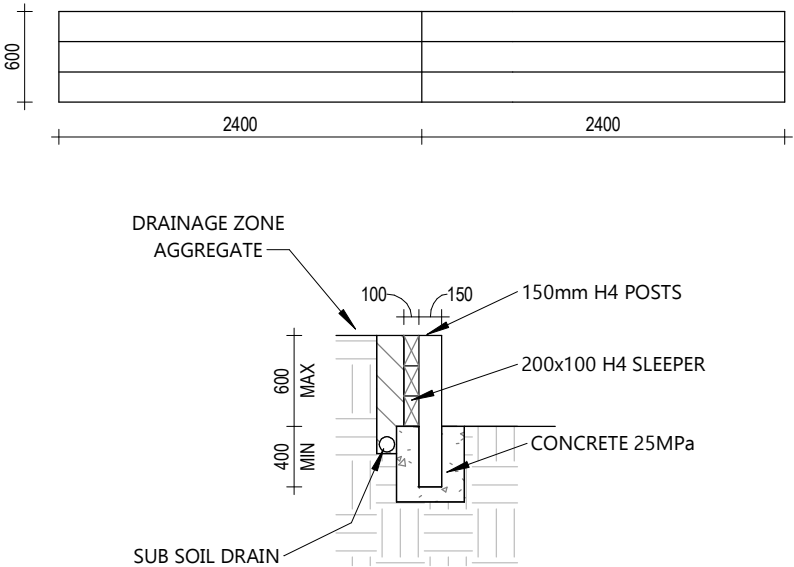


DRIVEWAY PLAN

1:100



TYPICAL SECTION - SLEEPERS 1:50

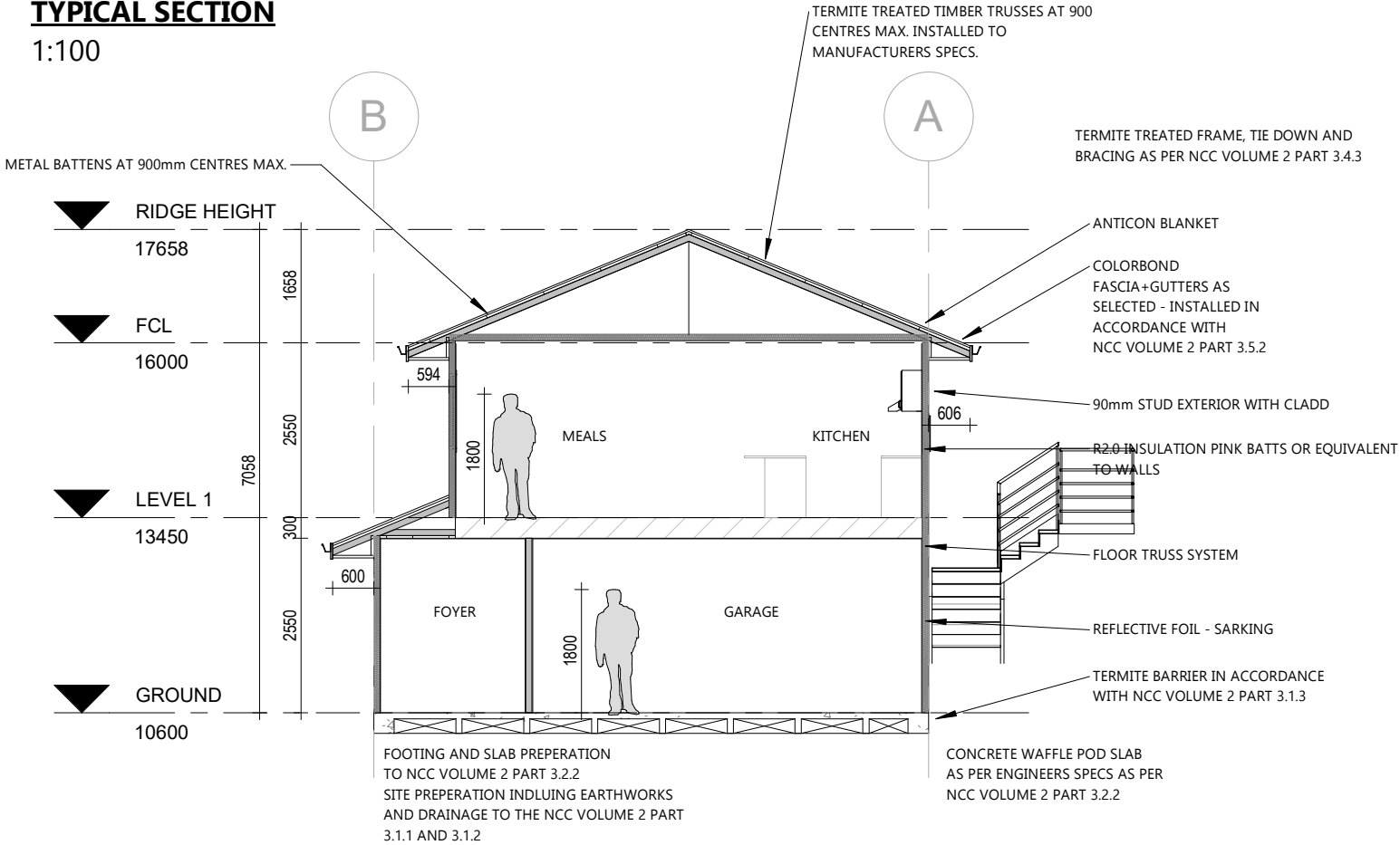


Risers, goings and treads dimensions

Range (mm)	The Riser (R)		The going (G)		The slope relationship (2R + G)	
	Min	Max	Min	Max	Min	Max
AS1657	130	225	215	355	540	700
BCA	115	190	240	355	550	700

TYPICAL SECTION

1:100



G.J. Gardner. HOMES

I&C Homes Pty Ltd
Licence 309023C
63 Muldoon Street
Taree, NSW , 2430

© COPYRIGHT EXCULSIVE
TO G.J.GARDNER HOMES

ALIGNBUILDINGDESIGN
Anthony Staines
Draftsman NSW

CLIENT:
PAUL AND JOANNE
GRIFFIN

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LOT 11 DP 22781

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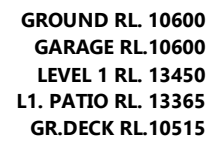
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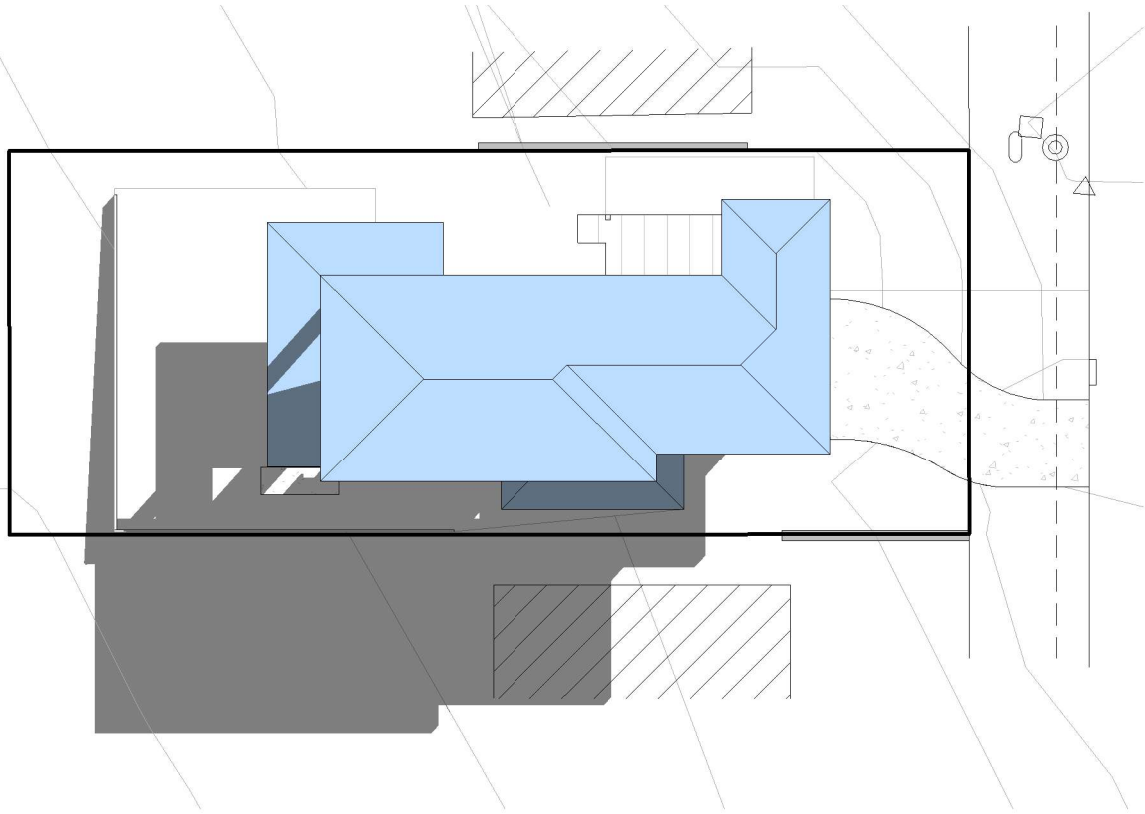
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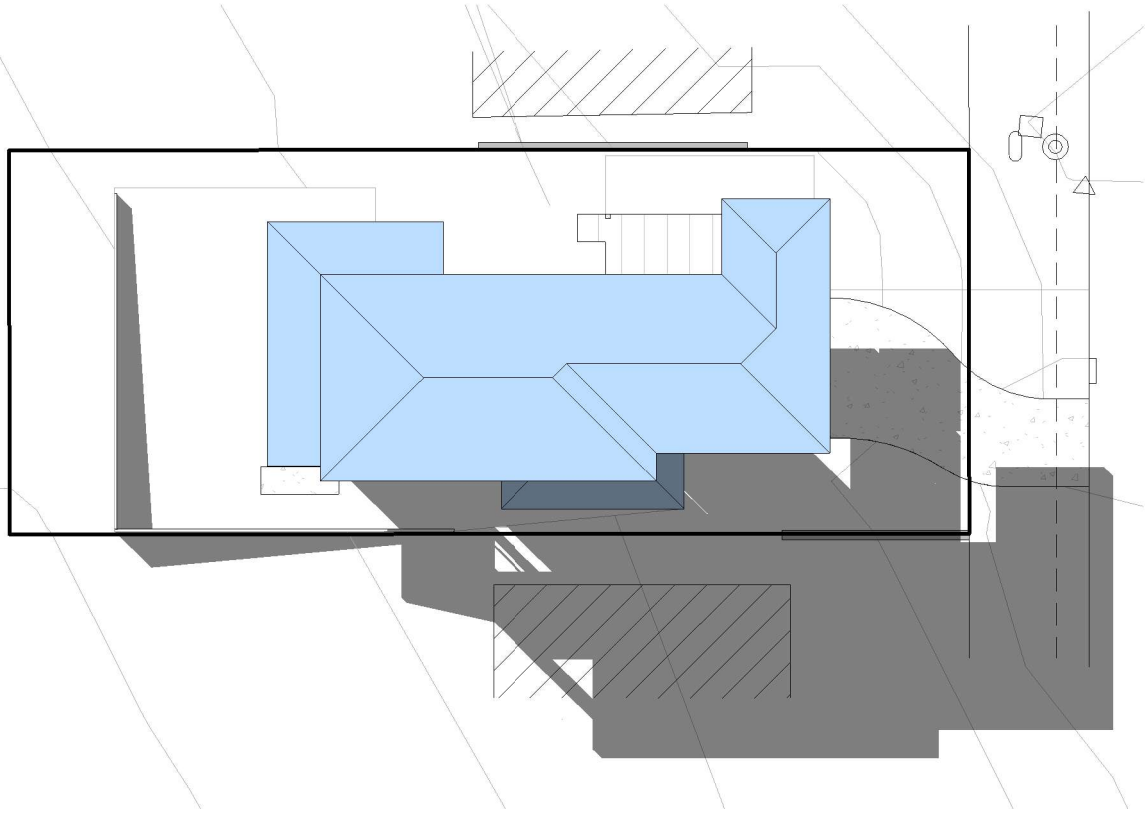
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	REV D 9/04/2025 10:19:22 AM	

BUILDER SIGNED: _____ DATE: _____

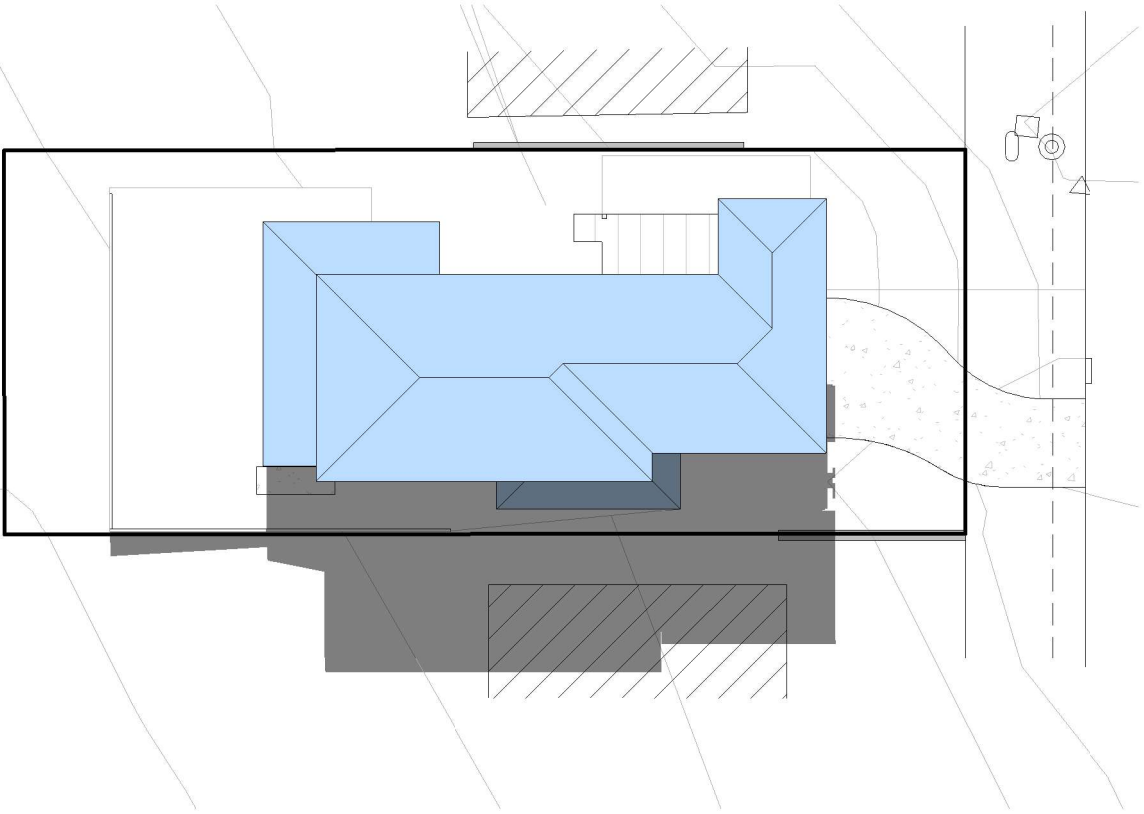




JUNE 9am



JUNE 3pm



JUNE 12pm

CLIENT:
PAUL AND JOANNE
GRIFFIN

PROJECT: PROPOSED NEW RESIDENCE

25 MARINE Dr
Wallabi Point 2430

LOT 11 DP 22781

DRAWING TITLE:

ROOF PLAN

SCALE:

1 : 100

- FRONT DECK	43 m ²
- FRONT PAD	16 m ²
- GARAGE	45 m ²
- Gr.LIVING	68 m ²
- Gr.PATIO	38 m ²
- PORCH	4 m ²
- Up.LIV	108 m ²
	322 m ²

JOB NUMBER: SHEET SIZE:

DRAWN: A3

DATE: 9/04/2025 10:19:25 AM PAGES: 12

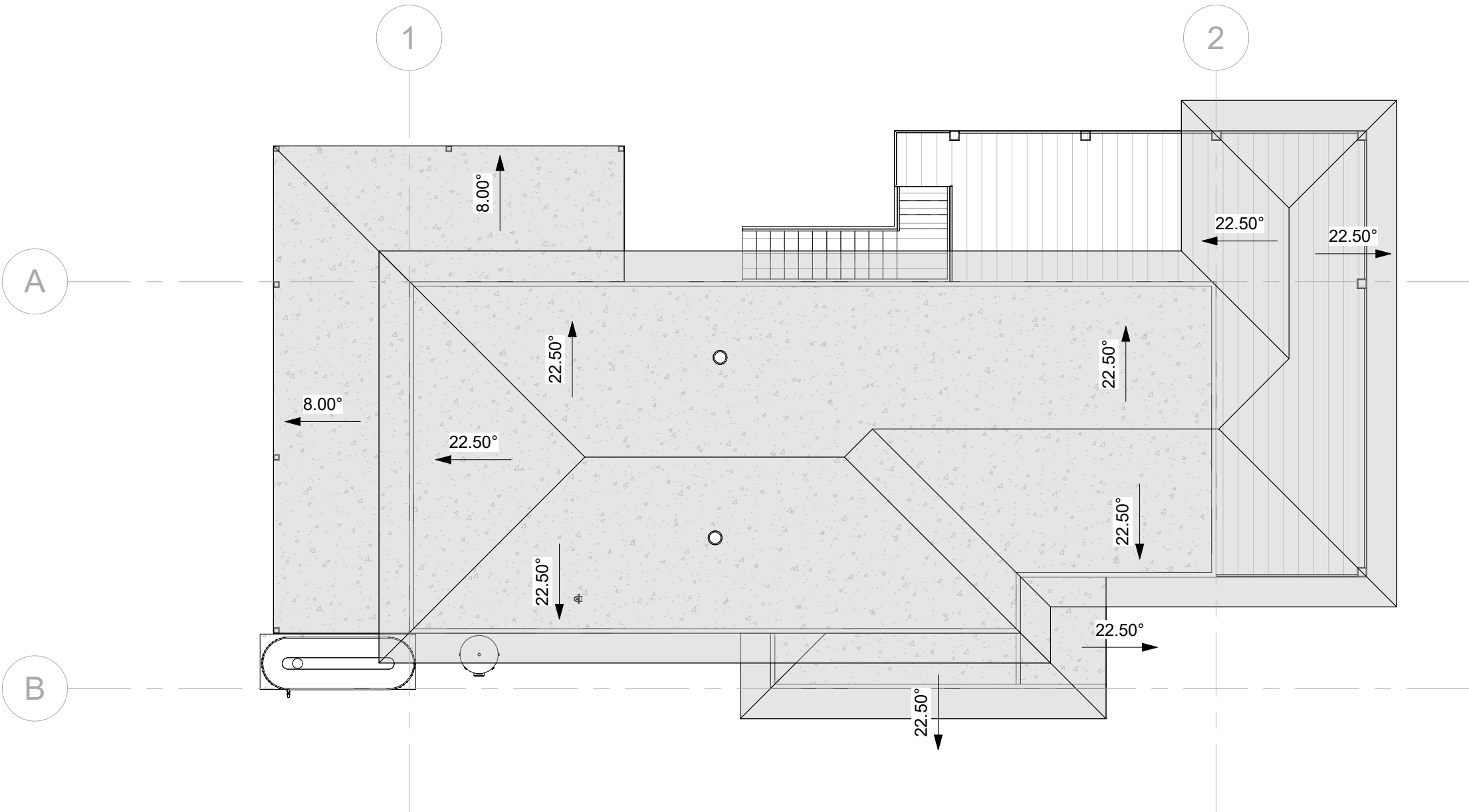
REV:	DETAILS:	DATE:
	REV D 9/04/2025 10:19:25 AM	

I/WE HAVE CHECKED THE PLANS AND AGREE THAT THEY
ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION.
ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR
A PROCESSING FEE IN ADDITION TO THE COST OF THE
VARIATION ITEM/S AND ANY FURTHER PLANS TO BE
PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



CLIENT:
PAUL AND JOANNE
GRIFFIN

PROJECT: PROPOSED NEW RESIDENCE

25 MARINE Dr
Wallabi Point 2430

LOT 11 DP 22781

DRAWING TITLE:

OVERLAY

SCALE:

1 : 100

- FRONT DECK	43 m²
- FRONT PAD	16 m²
- GARAGE	45 m²
- Gr.LIVING	68 m²
- Gr.PATIO	38 m²
- PORCH	4 m²
- Up.LIV	108 m²
	322 m²

JOB NUMBER: SHEET SIZE:

DRAWN: A3

DATE: 9/04/2025 10:19:25 AM PAGES: 13

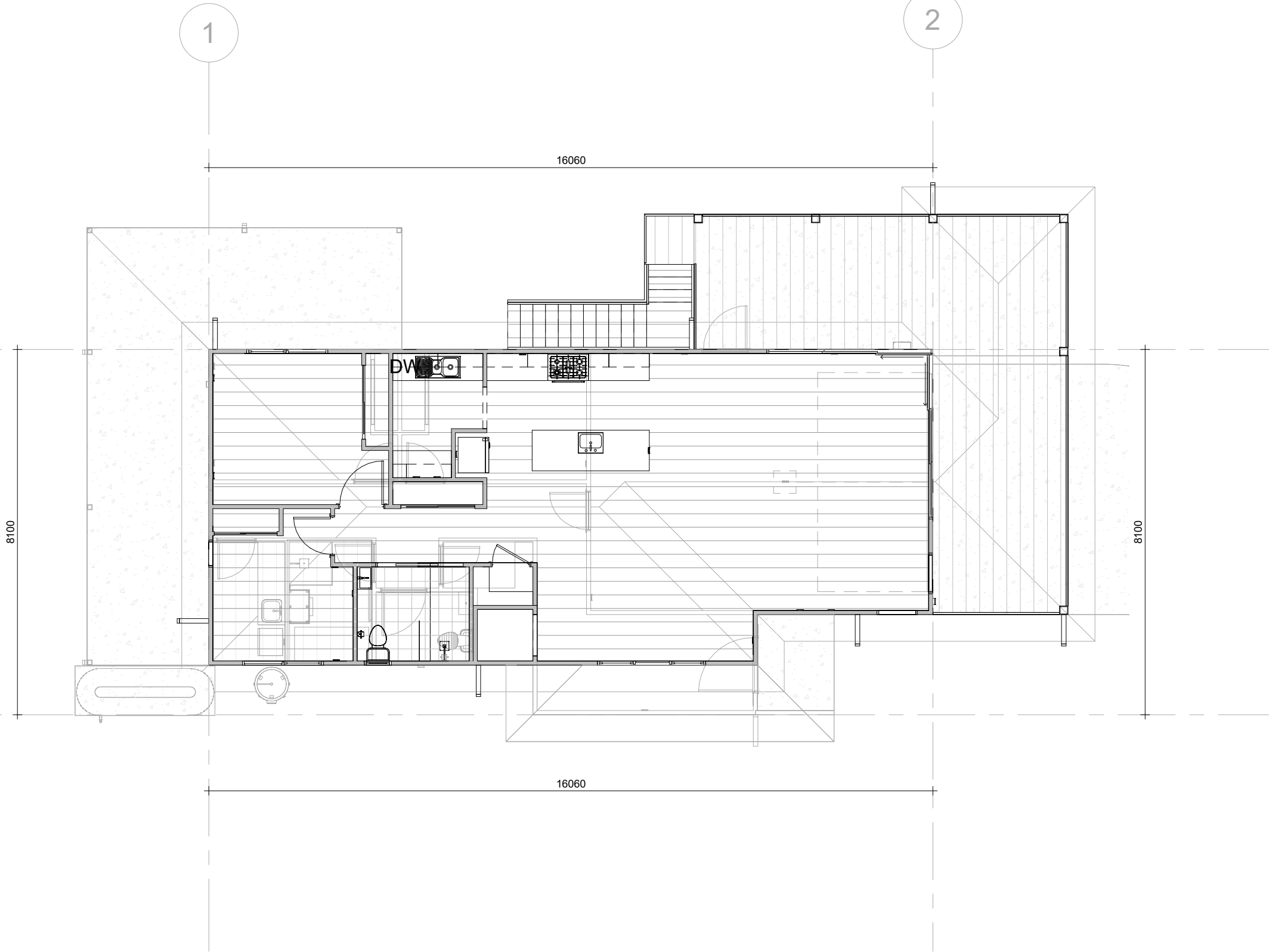
REV:	DETAILS:	DATE:
	REV D 9/04/2025 10:19:25 AM	

I/WE HAVE CHECKED THE PLANS AND AGREE THAT THEY
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PREPARED.

OWNER SIGNED: DATE:

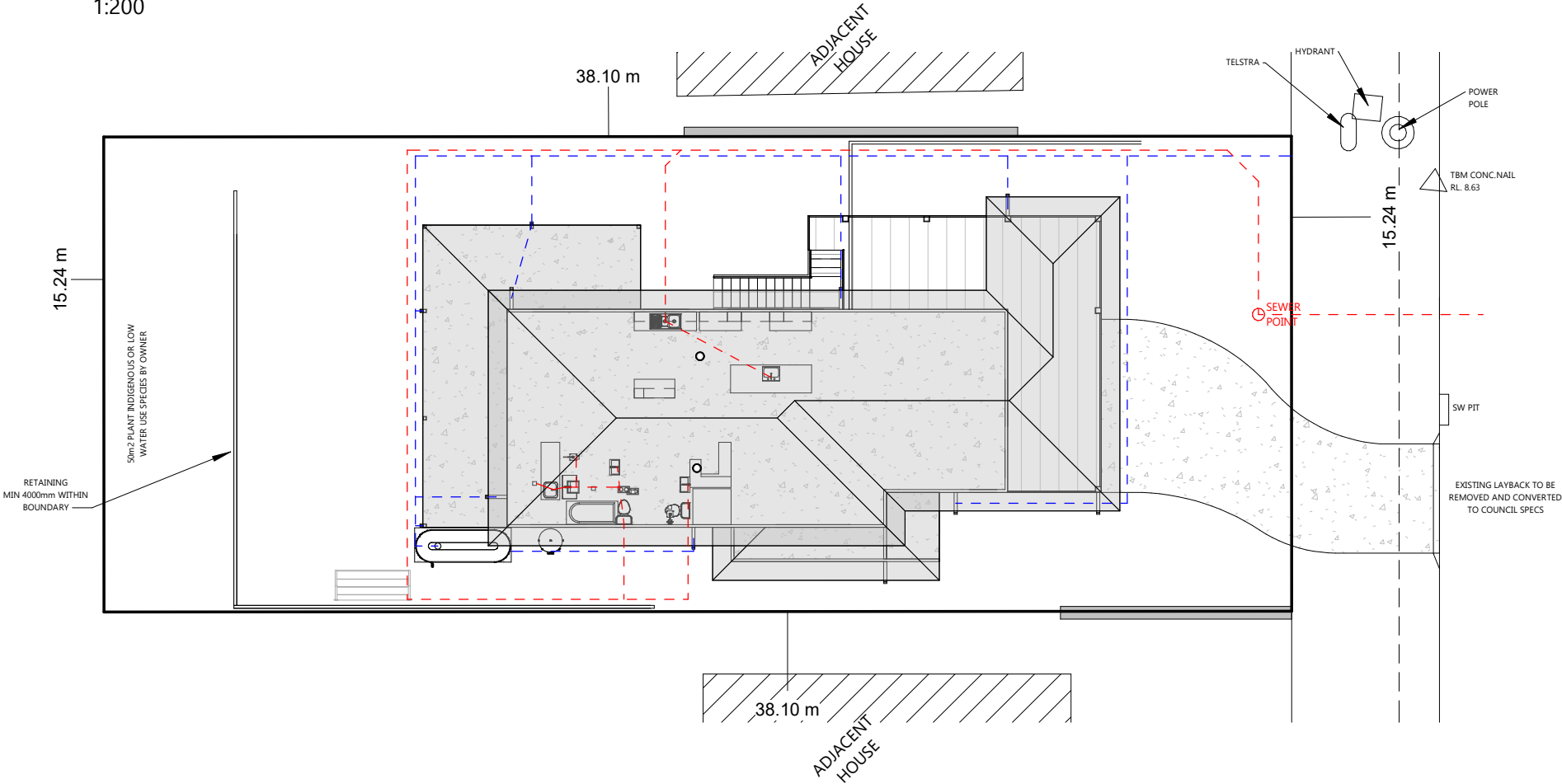
OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



SITE PLAN

1:200



LOT 11
DP 22781
25 MARINE DR
WALLABI POINT 2430
580m2



SEWER	---
STORM	---

G.J. Gardner. HOMES

I&C Homes Pty Ltd
Licence 309023C
63 Muldoon Street
Taree, NSW , 2430

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TO G.J.GARDNER HOMES

ALIGNBUILDINGDESIGN
Anthony Staines
Draftsman NSW

CLIENT:
PAUL AND JOANNE
GRIFFIN

PROJECT: PROPOSED NEW RESIDENCE

25 MARINE Dr
Wallabi Point 2430

LOT 11 DP 22781

DRAWING TITLE:
SERVICES PLAN
SCALE:
1 : 200

- FRONT DECK	43 m ²
- FRONT PAD	16 m ²
- GARAGE	45 m ²
- Gr.LIVING	68 m ²
- Gr.PATIO	38 m ²
- PORCH	4 m ²
- Up.LIV	108 m ²
322 m ²	

JOB NUMBER:	SHEET SIZE:
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DATE: 9/04/2025 10:19:26 AM	PAGES: 14
REV:	DETAILS:
	REV D 9/04/2025 10:19:26 AM
	DATE:

I/WE HAVE CHECKED THE PLANS AND AGREE THAT THEY
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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE: